

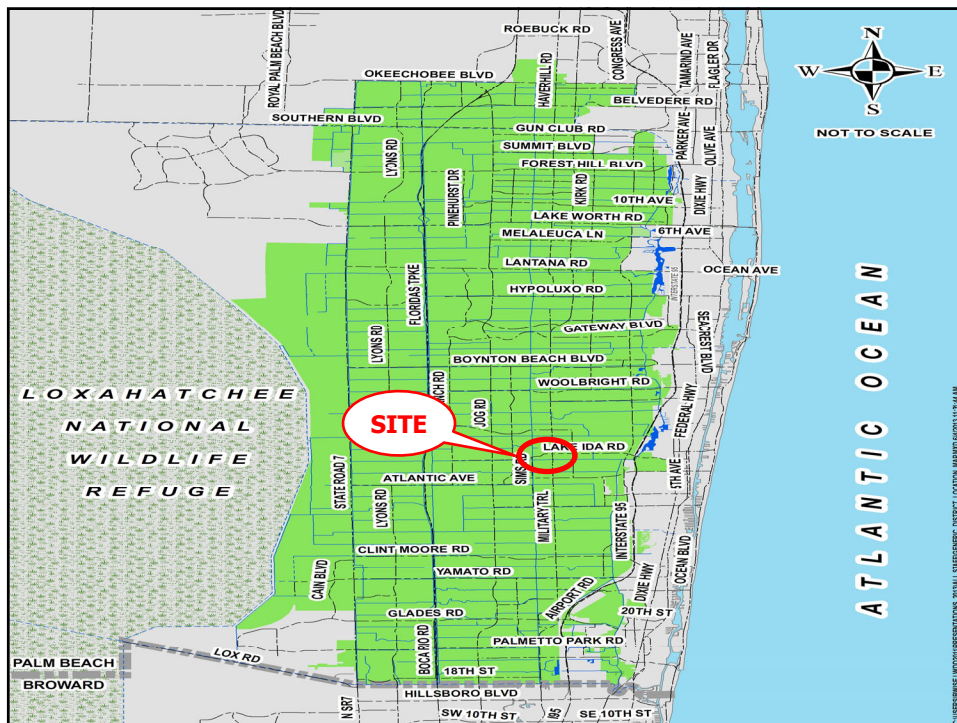
**Convert the existing Piping, Paving, & Parking  
 Agreement to a Right-of-Way Permit and transfer  
 to 14000 S Military Trail, LLC (Pylon Professional  
 Center)**

**LWDD Project No. RW-22-0059**

Nicole Smith, Permit Supervisor  
 Board Workshop – October 4, 2022  
 Agenda Item #3



1



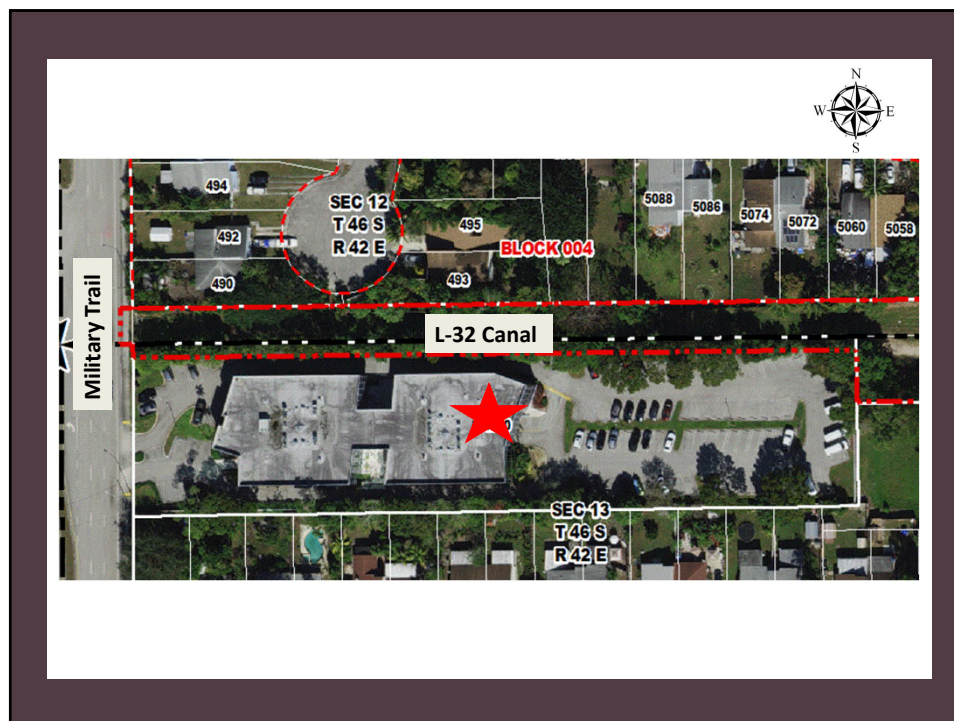
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## Background



- Parcel is located on the east side of Military Trail, South of Lake Ida; South side of the L-32 Canal
- June 1, 1983 – Pylon Medical Associates, Ltd. Conveyed an easement to LWDD
- June 3, 1983 – LWDD quitclaimed a portion of the right-of-way to Pylon Medical Associates, Ltd.
- December 3, 1983 – LWDD executed an Agreement with Pylon Medical Associates, Ltd. to pipe of a portion of the L-32 Canal
- June 12, 2013 – Board of Supervisors approved executing the Piping, Paving, and Parking Easement Agreement with Hexagon Military Trail, LLC ORB26306/1438; Recorded September 6, 2013 (LWDD Record No. 09-314P.03)
- February 15, 2022 – 14000 S Military Trail, LLC (current owners) applied for a transfer of the existing Piping License Agreement adjacent to their property and convert to a Right-of-Way Permit

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## Staff Recommendation



- Approval to issue a Right-of-Way Permit for the existing piped portion of the L-32 Canal to 14000 S Military Trail, LLC. Adjacent to their parcel
- Subject to:
  - Certificate of Liability Insurance (Requested)
  - Signed & Sealed Pipe Inspection (**Due 2024**)
  - LWDD Operating Policies
- **Application Fee**
  - $\$9.00 \times 601.78 \text{ LF} = \$5,416.02$  (Paid)
- **Use Fee**
  - $\$20.00 \times 601.78 \text{ LF} = \$12,035.60$  (Paid)
- **Annual Fee** – (Commencing 1yr from Permit Issuance)
  - $\$4.00 \times 601.78 \text{ LF} = \$2,407.12$
  - Adjusted every five (5) years by the compounded CPI

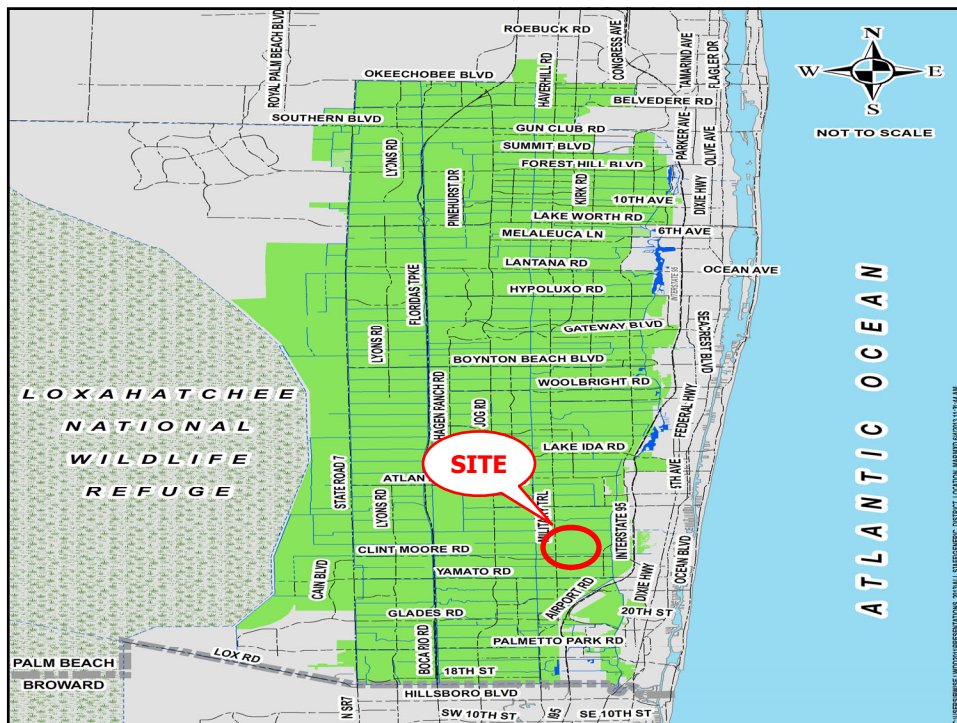
# Transfer the existing Piping of Canal Right-of-Way Permit from Boca Multi Owners, LLC to MQMF Boca Broken Sound, LLC

LWDD Project No. RW-22-0298

Nicole Smith, Permit Supervisor  
Board Workshop – October 4, 2022  
Agenda Item #3



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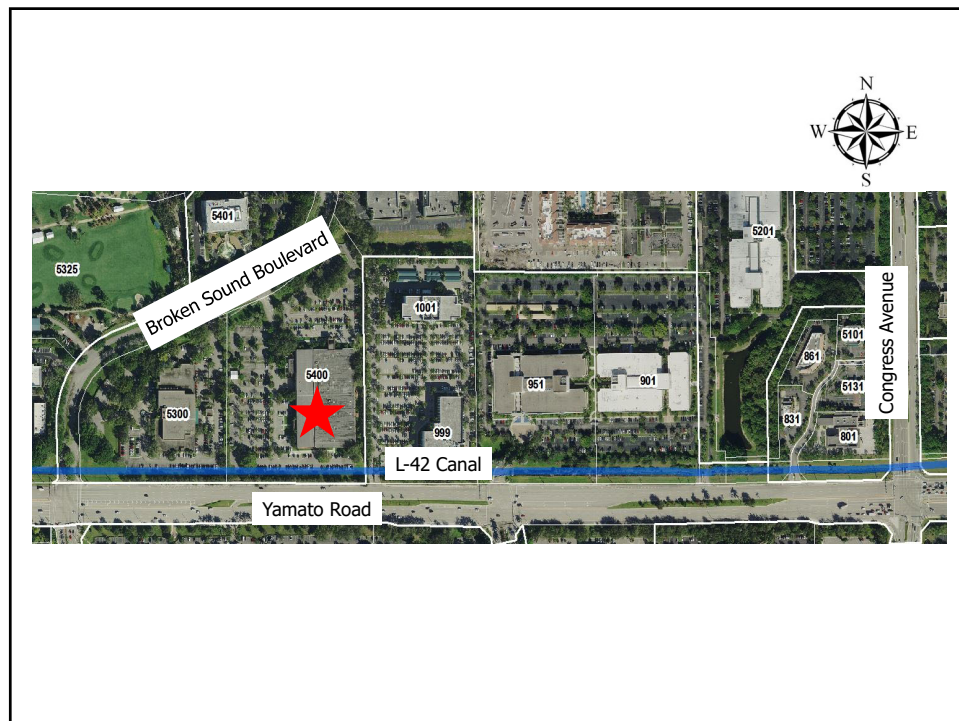
## Background



Parcel is located on the north side of the L-42 Canal ~674' east of Broken Sound Boulevard

- July 14, 1999 - LWDD Board of Supervisors approved the original Piping License Agreement (ORB 11836/1200) to TAAZ, LLC
- August 14, 2019 – LWDD Board of Supervisors approved the transfer of the Piping, Paving, Parking License Agreement and convert to a Right-of-Way Permit (RW-19-0230) to Boca Multi Owners, LLC
- September 1, 2022 – MQMF Boca Broken Sound, LLC requested a transfer of the Piping of Canal Right-of-Way Permit

3



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## Staff Recommendation



- Approval to transfer the existing Piping of Canal Right-of-Way Permit from Boca Multi Owners, LLC to MQMF Boca Broken Sound, LLC for a portion of the L-42 Canal; being within Parcel D, ARVIDA PARK OF COMMERCE PLAT No 1, PB 34/184.
- Subject to:
  - Certificate of Liability Insurance (Received)
  - Signed & Sealed Pipe Inspection (**DUE 2024**)
  - LWDD Operating Policies
- **Application Fee**
  - \$9.00 x 623 LF = \$5,607.00 (Paid)
- **Use Fee**
  - \$20.00 x 623 LF = \$12,460.00 (Paid)
- **Annual Fee** – (commencing 2020)
  - \$4.00 x 623 LF = \$2,492.00
  - Adjusted every five (5) years by the compounded CPI

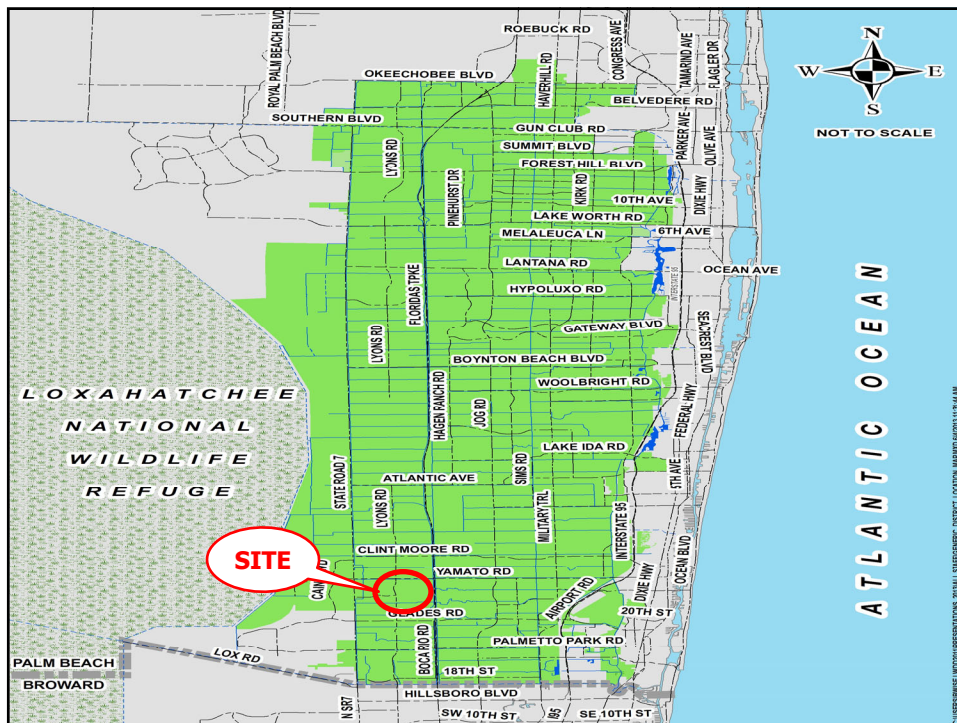
6

**Glades Road 1 LLC**  
**Temporary Parallel Installation of a 6" PVC Forcemain**  
**within the north 5' of the L-44 Canal from the west side**  
**of Lyons Road eastward for ~1,550'**  
**LWDD Project No. RW-21-0267**

Nicole Smith, Permit Supervisor  
 Board Workshop – October 4, 2022  
 Agenda Item #3



1



2



## Overall Site Location



3

## Background

- Glades Road 1 LLC (GL Homes) is presently under contract to develop Johns East property; development is anticipated to begin 2023-2024
- There is presently a mortgage on the Johns East property that does not allow any easements to be granted or improvements made to the property until mortgage is satisfied (June 2023)
- GL Homes is requesting a temporary parallel installation of a 6" PVC force main within the north 5' of the L-44 Canal from the west side of Lyons Road eastward for ~1,550' to serve the Boca Raton Golf Course PUD development; The 6" Forcemain will only serve an additional 190 meters, which is less than half of their community
- Temporary force main is anticipated for use for approximately 3 years until the development of the Johns East property located south of the LWDD L-44 Canal and directly west of Boca Raton Golf Course PUD, adjacent to Lyons Road
  - Permanent force main connection from the Boca Raton Golf Course PUD to be routed through the Johns East property and the temporary force main within the north L-44 Canal R/W will be removed

4



## Background



- LWDD Policy requires Board approval for parallel utility installations
- GL Homes has addressed all alternative options for parallel installations to verify there are no other options for utility placement (Operating Policy for Parallel Utility Lines - Section 3.11.1.6.3, Items A-G)
- GL Homes met with the Brentwood HOA Boards several times throughout 2021 to request easements for both the proposed water main and force main. The alignment of the force main impacted three different HOA's. The HOA was receptive to providing an easement for a water main connection that affected one HOA only but was not receptive to the easement for the force main.
  - The water main easement is perpendicular to the LWDD L-44 Canal R/W and has very little impact on vegetation and connects to the Nadmar Avenue R/W within Brentwood. The force main easement would have run parallel to the LWDD L-44 canal R/W and would impact various existing vegetation. The HOA would not entertain providing that easement.

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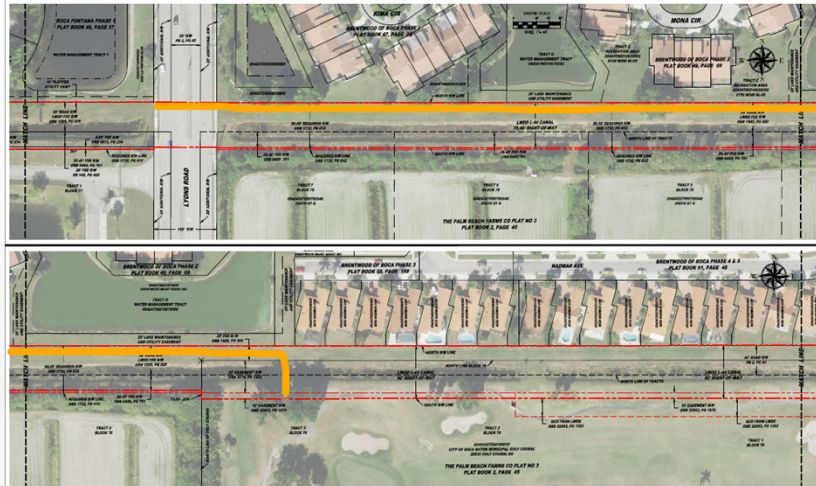
## Background



- Forcemain will be required by PBCWUD to be upgraded to 12" force main prior to the installation additional meters, which are needed to accommodate new construction; GL Homes is currently up to 125 sales
- The temporary force main will be abandoned, removed and replaced with a permanent 12" Forcemain to be located within the Johns East property prior to the three-year timeframe
- GL Homes has proposed a Limited License Agreement and additional fees to LWDD in order to guarantee the 6" force main will be temporary within the L-44 Canal Right-of-Way
  - 1<sup>st</sup> and 2<sup>nd</sup> Years of installation GL Homes will pay LWDD \$10,000.00
  - 3<sup>rd</sup> Year of installation GL Homes will pay LWDD \$25,000.00
  - 4<sup>th</sup> Year and each Year thereafter GL Homes will pay LWDD \$250,000.00 until the 6" Forcemain has been removed from the L-44 Canal Right-of-Way
- PBCWUD will be a co-permittee (Signed application in-house)

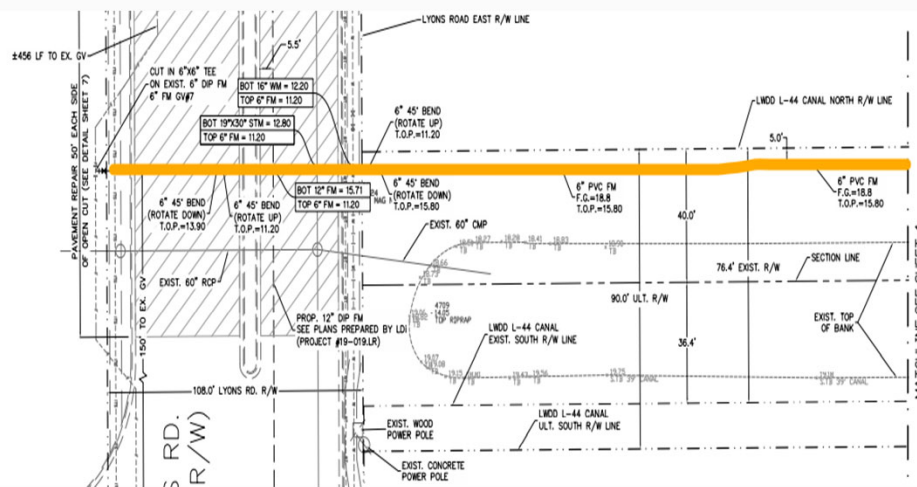
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## Temporary Parallel Forcemain Crossing

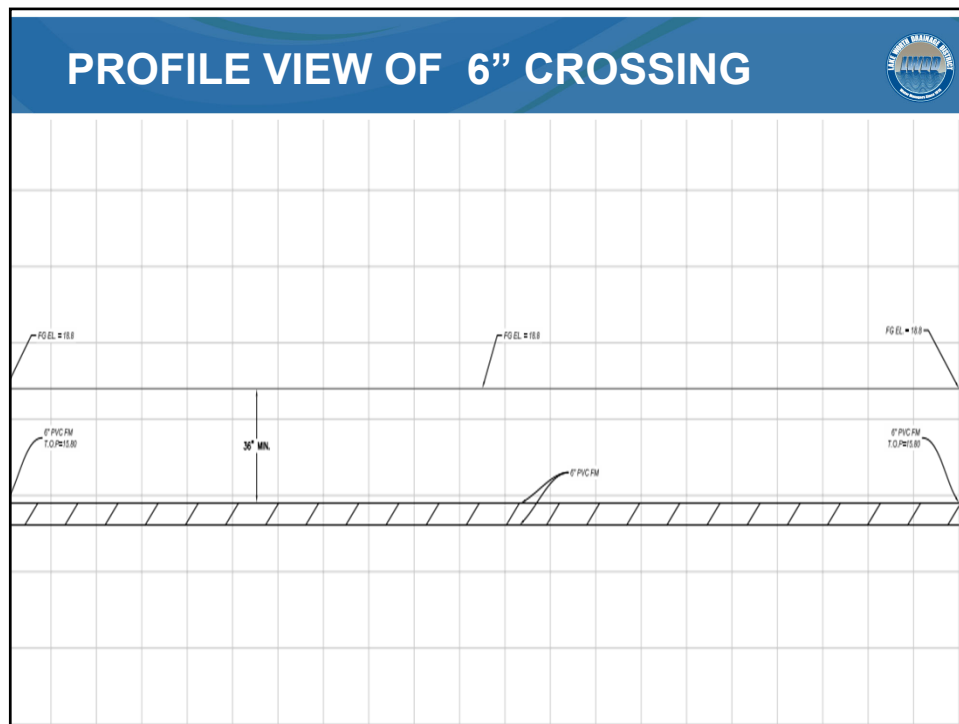


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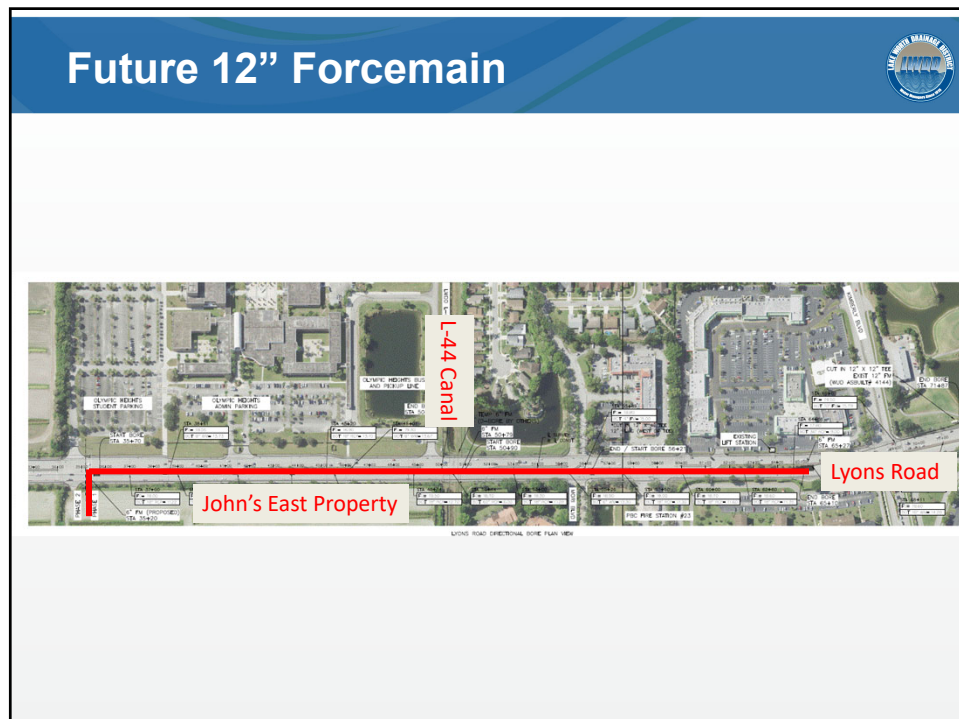
## 6" CROSSING WITHIN NORTHERN 5'



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## Staff Recommendation



- Approval to enter into the Limited License Agreement between LWDD and Boca Raton Associates IX, LLLP and issue a Right-of-Way Permit to Glades Road I LLC and Palm Beach County for the temporary parallel installation of a 6" Forcemain within the north 5' of the L-44 Canal Right-of-Way for ~1,550LF
- Subject to:
  - The Terms outlined in the Limited License Agreement
  - Removal of temporary installation within 3 years from date of approval
  - Applicable Fees
  - LWDD Operating Policies
- **Application Fee**
  - $\$2.00 \times 1,550\text{LF} = \$3,100.00$  (Paid)
- **Use Fee**
  - $\$20.00 \times 1,550\text{ LF} = \$31,000.00$  (Paid)
- **Annual Fee** – (Commencing 1yr from Permit Issuance)
  - $\$4.00 \times 1,550\text{LF} = \$6,200.00$
  - Adjusted every Five (5) Years by the compounded Consumer Price Index (CPI)
- **Annual License Fee** – as stated in the Limited License Agreement

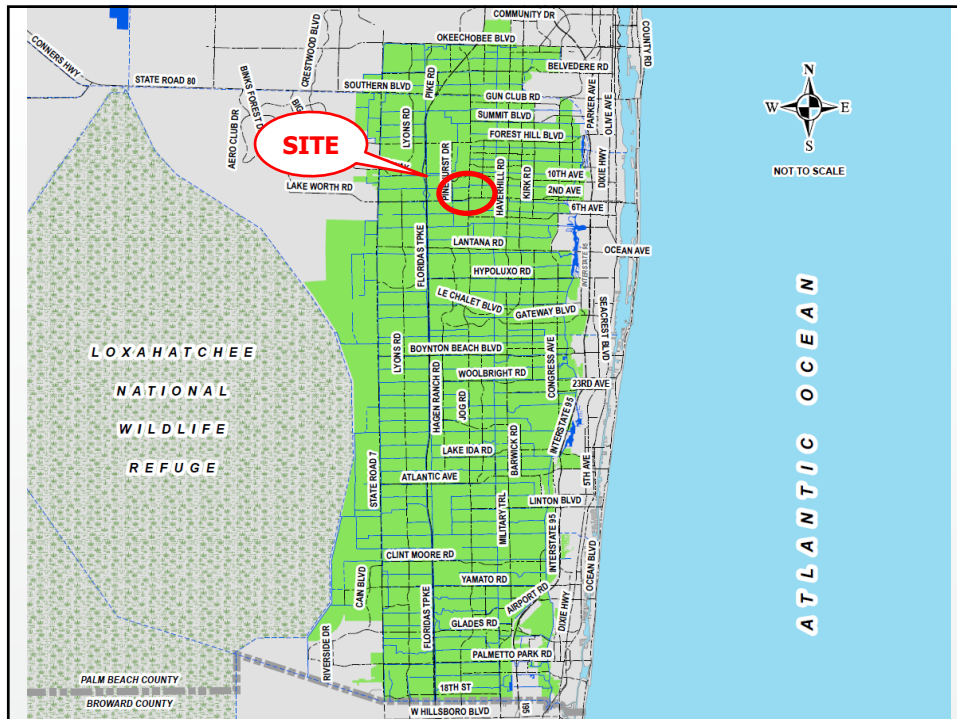


## Chickasaw Road (RW-21-0288 & RI-19-0143)

Nicole Smith, Permit Supervisor  
Board Workshop – October 4, 2022  
Agenda Item #3

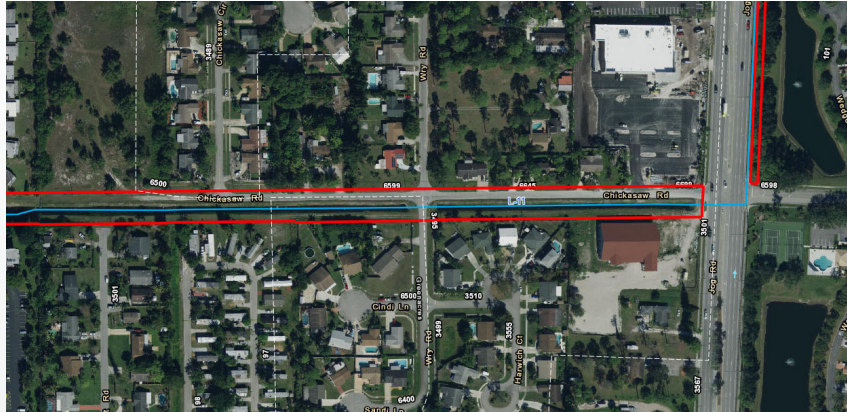


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## Background



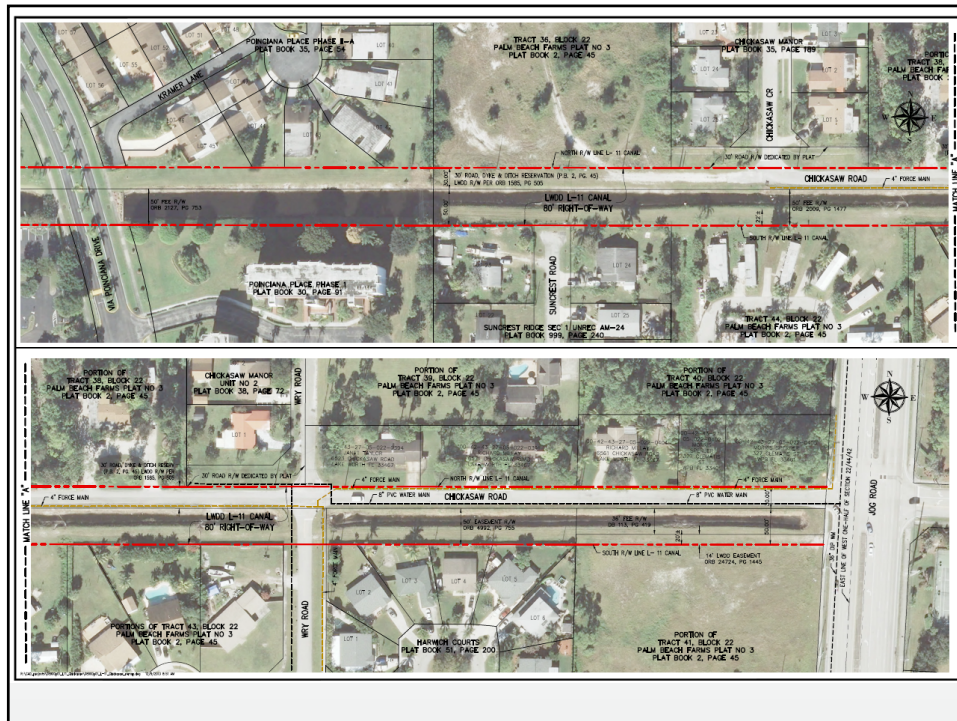
3

## Background



- LWDD owns and operates the L-11 Canal which consists of the fee simple ownership of the north 30' of the L-11 Canal
- Chickasaw Road is a substandard existing paved road that runs west from Jog Road along the north portion of the L-11 Canal, a distance of approximately one-quarter (1/4) mile
  - Constructed in 1978 to provide access to the Chickasaw Manor Subdivision, a subdivision located within the municipal boundaries of the City of Greenacres

4



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## Chickasaw Road (Beginning - Looking West)

**LWDD**  
LAKE WORTH DRAINAGE DISTRICT



6



## Chickasaw Road (End - Looking East)



7

## Background



- In 2006, parcel at west end of Chickasaw Road was being developed; County conditioned developer to provide required roadway improvements for road and canal.
- September 2006 - LWDD Board approved to deed roadway area to Palm Beach County at no fee; developer required to reconstruct roadway subject to District approval of plans
  - LWDD acknowledged that road improvements may include changes to canal cross-section
- Site was never developed; roadway improvements were not completed
- County no longer provides courtesy maintenance of roadway because it is not the underlying owner
- City of Greenacres (City) plans to annex the subject area and assume responsibility of the roadway

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## Interlocal Agreement



- September 16, 2020 – LWDD Board of Supervisors approved LWDD entering into an Interlocal Agreement with the City of Greenacres in order to resolve the issues between Chickasaw Road and the L-11 Canal
  - City agreed that roadway design and improvements are subject to board approval and all permit requirements by LWDD
  - City agreed to evaluate and develop a roadway design that mitigates to the greatest extent possible impacts to drainage conveyance and maintenance of the L-11 Canal
  - Based upon the mutually approved roadway design for the improvement of Chickasaw Road and subject to the City's sufficient funding for the project, LWDD will transfer ownership to City the area that the design depicts as the location of the to-be-constructed Chickasaw Road improvements
  - LWDD agreed to the City's proposed conceptual plan to pipe the L-11 Canal with a minimum 72" Reinforced Concrete Pipe (RCP), the centerline of the pipe to be positioned no closer than 8' to any portion of the proposed south edge of pavement being along the south line of the 30' platted road right-of-way
  - City will convey to LWDD an access and maintenance easement for the maintenance of LWDD L-11 Canal over the fee simple ownership conveyed to City
  - City agrees to maintain right-of-way from the west side of Jog Road westward for ~1,700' to the east line of Poinciana Place Phase II-A, PB 35, PG 54

9

## Background



- October 2, 2021 – City of Greenacres applied for Right-of-Way Permit to Pipe the L-11 Canal Right-of-Way; submitted plans for the design of road improvements and undertake construction of the roadway improvements to ensure the safe and efficient flow of traffic
- LWDD has coordinated with the City during the development of the City's design for the road improvements to Chickasaw Road which will include piping the L-11 Canal to ensure that drainage remains functional
- August 17, 2022 – Final plans submitted for review
  - A portion of the road drainage system will be within the L-11 Canal Right-of-Way
  - City of Greenacres is the responsible entity

10

## City Proposed Conceptual Plan



11

## Staff Recommendation

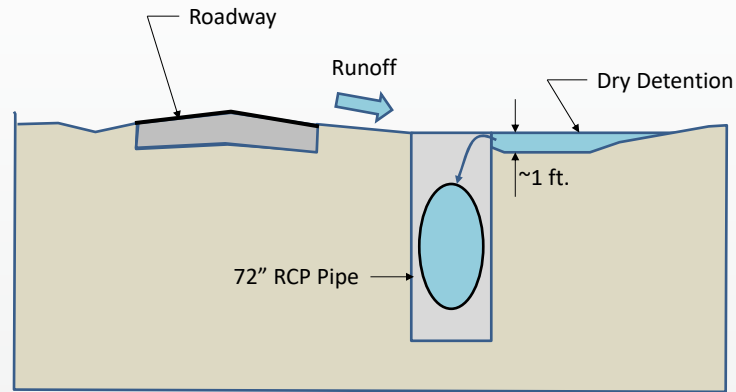


- Approval to issue the Right-of-Way Permit for the Piping of the L-11 Canal to the City of Greenacres
- Approval to issue a Quit-Claim Deed for the north 30' of the L-11 Canal Right-of-Way in exchange for the City of Greenacres conveying an Access and Maintenance Easement to LWDD over said 30'
- Subject to:
  - City of Greenacres being responsible for the maintenance of the pipe
  - City of Greenacres being responsible for the maintenance of the L-11 Canal Right-of-Way

12

## Drainage Cross-Section

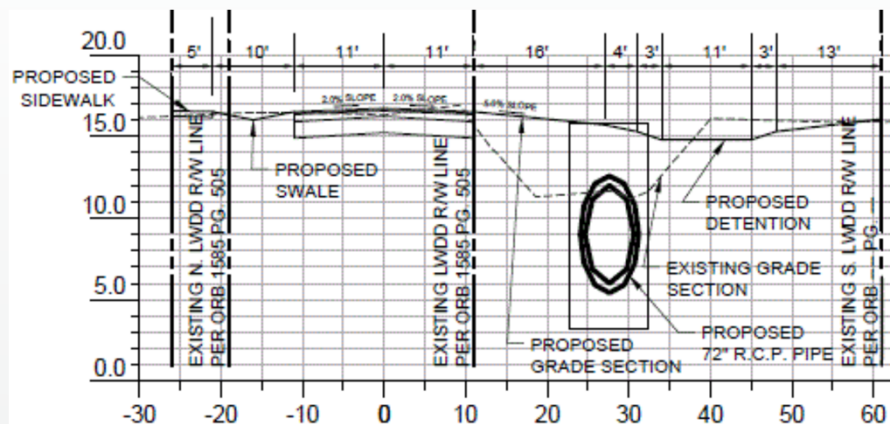
**LWDD**  
LAKE WORTH DRAINAGE DISTRICT



13

## Drainage Detail

**LWDD**  
LAKE WORTH DRAINAGE DISTRICT



14

**MQMF BOCA BROKEN SOUND, LLC**  
**Approval to Release Chancery and Reservations**  
**5400 Broken Sound Blvd**  
**Project # RI-18-0054**

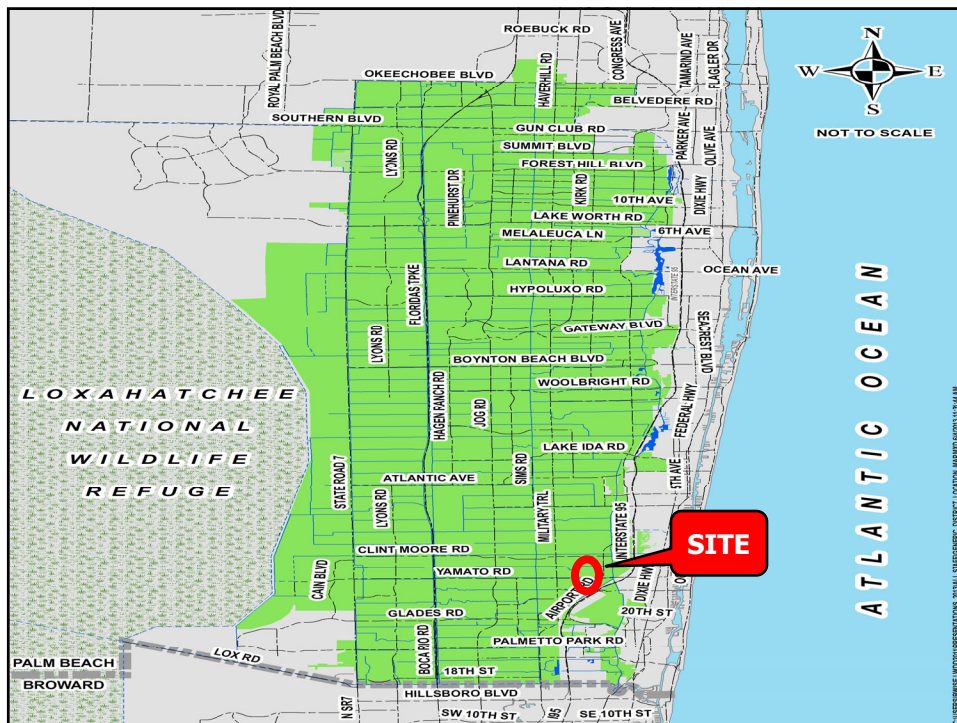
Governing Board Meeting

Board Workshop – October 4, 2022  
 Agenda Item #3

Dave Bends  
 Right-of-Way Interest Supervisor



1



2



**PARCEL D**  
**ARVIDA PARK OF COMMERCE PLAT NO. 1**  
**PLAT BOOK 34, PAGE 184**

06424701020040000  
 NQMF BOCA BROKEN SOUND, LLC  
 5400 BROKEN SOUND BLVD  
 BOCA RATON FL 33487 3521

SEC 147-68  
 SEC 15-21-42

PIPING PERMIT  
 NO. RW-19-0230

LWDD L-42 CANAL  
 80' R/W

57.75' PER  
 CHANCERY 407

80' LWDD ESMT R/W  
 ORB 11375, PG 1086

**YAMATO RD**

2

## Background



- June 1915 Chancery Case 407 – The north 57.75' of the NW ¼ of the NW ¼ was taken for canal right-of-way, which includes a portion within the subject property
- 1944 – US Government condemned all lands within Boca Raton Army Airfield, including chancery
- March 1977 – Arvida Corp. conveyed an Exclusive Easement to LWDD for the L-42 Canal
- August 2022 – LWDD received a request to clear title by issuing a quit-claim deed for the Chancery Case 407

5

## Staff Recommendation



- Approval to release LWDD's chancery and reservation interest in the subject property.
- Subject to:
  - Quit Claim Deed will be subject to LWDD's Exclusive Easement Deed, recorded in ORB 2654, Page 1004
  - \$250.00 Release Fee
  - LWDD Operating Policies

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