

**LAKE WORTH DRAINAGE DISTRICT  
OPERATING POLICIES**

**Chapter 3: Engineering & Permitting Requirements**

**3.6 Docks and Davits/Boat Lifts and Seawalls**

**3.6.1 Docks and Davits/Boat Lifts**

**3.6.1.1**

A permit may be issued upon receipt of all requirements contained in this section. The permit shall be temporary and may be revoked by LWDD at any time. The termination or revocation shall be at the sole discretion of LWDD. See Application for Boat Dock/Seawall/Lift Permit at the end of this section.

**3.6.1.2**

Each application shall meet LWDD's requirements of the specific location, and all Municipal, County, State and Federal permits and/or requirements. Permits will not be issued for boathouses or floating docks. Other atypical dock designs will be reviewed on a case by case basis. LWDD reserves the right to refuse permitting any applications that do not meet the criteria contained herein.

**3.6.1.3**

Docks shall only be permitted on canals with a water surface at maintained water elevation of thirty feet (30') or more.

**3.6.1.4**

Docks are prohibited within three hundred feet (300') of a control structure.

**3.6.1.5**

Docks will not be permitted in areas where unacceptable rates of bank erosion are occurring, such as areas of excessive boat traffic, high channel velocities, or existing geological conditions. LWDD reserves the right to deny new permits or revoke existing permits in these areas.

**3.6.1.6**

Docks, including appurtenances (boat lifts), shall extend waterward no more than one-fourth ( $\frac{1}{4}$ ) of the canal width, as measured from the edge of water at the maintained water elevation. Docks shall not exceed twenty-five feet (25') in width, as measured from the edge of water at the maintained water elevation, waterward, and twenty-five feet (25') in length [forty-five feet (45') in tidal], as measured along the water's edge at maintained water elevation.

**3.6.1.7**

Minimum low member elevation for docks shall be two feet (2') above maintained water elevation.

**3.6.1.8**

Erosion control, in the form of either a seawall (See Section 11.2), interlocking concrete block revetment or rubble rip-rap shall be required for a distance of thirty-five feet (35') on both sides, from the center line of the dock or from property line to property line in cases where the water frontage is less than seventy feet (70'). Specific material types and dimensions must be approved by LWDD prior to submittal of the application.

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**Note:** Rubble Rip-Rap shall consist of broken stone and meet the following requirements:

The material shall be sound and durable, with a specific gravity of at least 1.90. The broken stones shall be no larger than 1.0 cubic foot per piece and no smaller than 0.25 cubic foot per piece. It shall be free of cracks, soft seams and other structural defects. The pieces shall be roughly angular and shall be reasonably free from thin, flat elongated pieces. No protruding steel rebar will be permitted.

The broken stones (rubble) shall be placed in such a manner that the smaller rubble pieces are not segregated, but are evenly distributed within the voids between the larger rubble pieces.

### **3.6.1.9**

Davits and/or boat lifts may be installed but must be indicated on the application drawings and must be approved by LWDD.

### **3.6.1.10**

Electrical installations must be indicated on the applicant's drawings and installed by a Florida licensed electrical contractor. Upon completion of the installation, as-built drawings shall be provided to LWDD, noting the depth and location of the electrical installations. **All electrical wiring must be buried in conduit a minimum of thirty-six inches (36").**

### **3.6.1.11**

Roofs on docks may be permitted subject to the requirements contained in standard building codes for the State of Florida.

#### **3.6.1.11.1**

Applicant shall provide certification by a licensed Florida professional engineer or architect confirming that the structure's proposed design conforms to the applicable Building Code.

#### **3.6.1.11.2**

Removable roofs, such as canvas or other LWDD approved material, may be permitted on a case by case basis. Removable roofs must be removed at least 24 hrs. in advance of a major storm event.

#### **3.6.1.11.3**

Record drawing certified by a licensed Florida professional engineer or architect confirming that the structure was constructed in accordance with the design permitted by LWDD. In the alternative, LWDD will accept written verification from authorized local government representatives that the construction meets the applicable Building Code or another more stringent local government building code. If certified record drawing is not provided within sixty (60) days from substantial completion, LWDD shall revoke permit.

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**3.6.1.12**

LWDD will NOT permit the construction of docks that incorporate walls or other similar enclosures; whether solid, partly solid, screened or transparent, regardless of the type of materials used in construction.

**3.6.1.13**

Proof of general liability insurance in the minimum amount of \$300,000.00 shall be provided to LWDD by the applicant or a letter from the applicant's insurance company (on insurance company letterhead) that insures the subject property, stating the reduced limits of General Liability Coverage for the subject property, and this amount of coverage will be provided.

**3.6.1.14**

Applicant shall indemnify and hold harmless LWDD for any liabilities arising out of the subject permit.

**3.6.1.15**

Applicant shall provide a copy of the property's recorded Warranty Deed together with a copy of the current Tax Bill or provide a copy of a search of the Property Appraiser's Public Access System.

**3.6.1.16**

Applicant shall provide a signed and sealed survey or signed and sealed sketch and legal description of the property, showing the proposed location of the dock in reference to the property line and water's edge at maintained water elevation, as well as showing LWDD's right-of-way.

**3.6.1.17**

Applicant shall provide drawing(s) and information showing the location and type of construction and materials to be used. **See Minimum Requirements shown on the application package at the end of this section.**

**3.6.1.18**

Permit fee must be included with permit application submittal. **See Chapter 2.0 - Fees**

**3.6.1.19**

Dock permits will be revoked for certain unauthorized activities, which include, but are not limited to:

**3.6.1.19.1**

Dock or any portion of dock being used either permanently or temporarily as a place of residence.

**3.6.1.19.2**

Dock being used for the mooring of houseboats, or other vessels used permanently or temporarily as a place of residence.

**3.6.1.20**

If the applicant or contractor intends to use LWDD's right-of-way for temporary construction access, approval must be obtained from LWDD. **See Section 4.8 Use of Right-of-Way as Temporary Access.**

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**3.6.2 Seawalls**

**3.6.2.1**

A permit may be issued upon receipt of all requirements contained in this section. The permit shall be temporary and may be revoked by LWDD at any time. The termination or revocation shall be at the sole discretion of LWDD.

**See Application for Boat Dock/Seawall/Lift Permit at the end of this section.**

**It is suggested that the applicant contact LWDD prior to seeking local governmental agency approval.**

**3.6.2.2**

Each application shall meet LWDD's requirements of the specific location, and all Municipal, County, State and Federal permits and/or requirements.

**3.6.2.3**

Applicant shall provide a signed and sealed survey or signed and sealed sketch and legal description of the property, showing the proposed location of the seawall in reference to the property line and water's edge at maintained water elevation, as well as showing LWDD's right-of-way.

**3.6.2.4**

Applicant shall provide drawing(s) and information showing the location and type of construction and materials to be used. Pile penetration shall be a minimum of one-half the total length (height) of sheetpile or four feet (4'), whichever is greater, unless a licensed Florida professional engineer provides signed and sealed calculations noting the penetration is not needed to that depth.

**3.6.2.5**

Proof of general liability insurance in the minimum amount of \$300,000.00 shall be provided to LWDD by the applicant or a letter from the applicant's insurance company (on insurance company letterhead) that insures the subject property, stating the reduced limits of General Liability Coverage for the subject property, and this amount of coverage will be provided.

**3.6.2.6**

Applicant shall indemnify and hold harmless LWDD for any liabilities arising out of the subject permit.

**3.6.2.7**

Applicant shall provide a copy of the property's recorded Warranty Deed together with a copy of the current Tax Bill or provide a copy of a search of the Property Appraiser's Public Access System.

**3.6.2.8**

Permit fee must be included with permit application submittal. **See Chapter 2.0 – Fees**

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**3.6.3 Possible Permit Conditions**

[Note: These conditions are not totally inclusive. Additional conditions may be required based upon the circumstances of the project.]

**3.6.3.1**

LWDD hereby grants a temporary permit to install the facilities as described in the approved plans on file with LWDD.

**3.6.3.2**

It is agreed that it is the sole responsibility of Permittee to maintain the facilities in a good, safe condition. It is left to the sole discretion of LWDD to determine whether or not the facilities are being maintained in a good, safe condition.

**3.6.3.3**

In the event LWDD should determine that the facilities are not being maintained in a good, safe condition, or LWDD requires removal of the facilities for any reason, the Permittee hereby agrees to remove, at the Permittee's expense, the aforementioned facilities and restore the right-of-way to its former condition, upon receiving sixty (60) days written notice. In the event of the failure on the Permittee's part to remove the items permitted and restore said right-of-way, it is mutually agreed that LWDD may thereafter remove same at Permittee's expense and recover all related expenses against the subject property through the Florida courts, by way of, but not limited to the lien laws of the State of Florida.

**3.6.3.4**

Any electrical source for the facilities shall not be located in LWDD right-of-way (permanent or semi-permanent) and any power extension hookup shall be removed after each use.

**3.6.3.5**

Lift arms shall have reflectors or reflective tape at all times, which can be easily seen at night from both upstream and downstream sides of the canal, should they extend over or into the water body.

**3.6.3.6**

Permittee agrees to indemnify and hold harmless LWDD of and from any and all losses, claims, damages, causes of action, costs and expenses of whatever kind or nature, including attorney's fees and court costs relating to or arising out of any claims against LWDD, as a result of or emanating out of the issuance of this Temporary Boat Dock/Seawall Permit and the usage of the LWDD right-of-way by the Permittee and the public.

**3.6.3.7**

Permittee acknowledges that LWDD is exempt from liability for personal injury and damages that may arise as a result of the issuance of this Permit by virtue of Laws of Florida, Chapter No. 2003-344.

**3.6.3.8**

LWDD reserves the right to terminate, amend, alter, or change the terms, conditions, or requirements contained herein at anytime and for any reason.

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**3.6.3.9**

Any rights transferred herein to Permittee shall be inferior to the rights of LWDD.

**3.6.3.10**

If the ownership of the property is transferred, the new owner shall secure a new Permit from LWDD.

**3.6.3.11**

The Permittee, LWDD approved assignees, and/or successors in title agree to operate and maintain the system/facility in perpetuity.

**3.6.3.12**

It is not the intent of the Permit to alter or affect the necessity of obtaining any other permits from any other appropriate government agencies.

**3.6.3.13**

Forty-eight (48) hours notice must be given to LWDD prior to commencement of work within LWDD right-of-way.

**3.6.4 Conditions upon which Work within LWDD Right(s)-of-Way May be Required of a Petitioner or an Applicant**

Proposed improvements to property that is adjacent to a LWDD canal, or part of a parent tract (same property owner or contiguous master plat) that is adjacent to a LWDD canal, or proposed improvements within LWDD canal right(s)-of-way, may be conditioned, when and if permitted by LWDD, to do canal work. This canal work may include, but may not necessarily be limited to, canal channel and maintenance berm relocation, canal channel and maintenance berm reshaping, dredging, filling, sloping, channel side slope stabilization, sodding and/or seeding and mulching.

Projects that may be conditioned to do canal work are projects that propose to make improvements to the adjacent property and which improvements may directly affect the facilities of LWDD.

Also, projects within adjacent property that have existing conditions that have, in the past, adversely affected the facilities of LWDD, even if the proposed improvements will not directly affect the facilities of LWDD, may be required to do canal work.

Any requirements or conditions for canal work may be independent of any LWDD right-of-way ownership and interest requirements. These LWDD right-of-way ownership and interest requirements can be found in Chapter 5: Right-of-Way Ownership & Interests of the LWDD Operating Policies Manual.

Engineering and permitting requirements can be found in Chapter 3: Engineering & Permitting Requirements of the LWDD Operating Policies Manual.

**LAKE WORTH DRAINAGE DISTRICT**  
13081 Military Trail, Delray Beach, FL 33484-1105  
(561) 498-5363 or 737-3835  
Fax: (561) 495-9694

## APPLICATION FOR BOAT DOCK/SEAWALL/LIFT PERMIT

Applicant: \_\_\_\_\_  
Property Owner's Name(s)

Address: \_\_\_\_\_  
\_\_\_\_\_

Phone: \_\_\_\_\_

Canal No.: \_\_\_\_\_

Contractor: \_\_\_\_\_  
Name

\_\_\_\_\_

Address

\_\_\_\_\_

Phone No.

\_\_\_\_\_

Printed Name of Applicant

\_\_\_\_\_

Signature of Applicant

Date

### FOR LWDD USE ONLY:

LWDD Permit No. \_\_\_\_\_

Date Application Received \_\_\_\_\_

Date Permit Fee Received \_\_\_\_\_

Check # \_\_\_\_\_

Receipt # \_\_\_\_\_

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## APPLICATION FOR BOAT DOCK/SEAWALL/LIFT PERMIT

Dock: Final dimensions will be \_\_\_\_\_ feet long by \_\_\_\_\_ feet wide.

Piling: Check type to be used: Wood \_\_\_\_\_ Concrete \_\_\_\_\_ Steel \_\_\_\_\_  
How many will be used in your construction? \_\_\_\_\_  
What size will be used: Diameter: \_\_\_\_\_ inches  
Length: \_\_\_\_\_ feet  
Depth of penetration of the front piling will be \_\_\_\_\_ feet  
Depth of penetration of the rear piling will be \_\_\_\_\_ feet

Deck: Check type to be used: Wood \_\_\_\_\_ Concrete \_\_\_\_\_ Steel \_\_\_\_\_  
State size or dimensions: \_\_\_\_\_  
[Examples: 4" x 4" Pine, 4" H-Beam]  
Dock low member height above average water surface (minimum 2 feet) \_\_\_\_\_

Anchor Point: If dock is to be built against a bulkhead or seawall, describe the manner of anchoring deck to the wall or bulkhead.

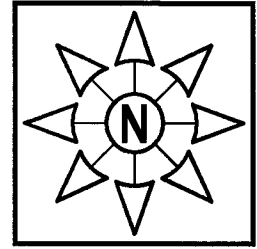
\_\_\_\_\_

**FOR LWDD USE ONLY:**

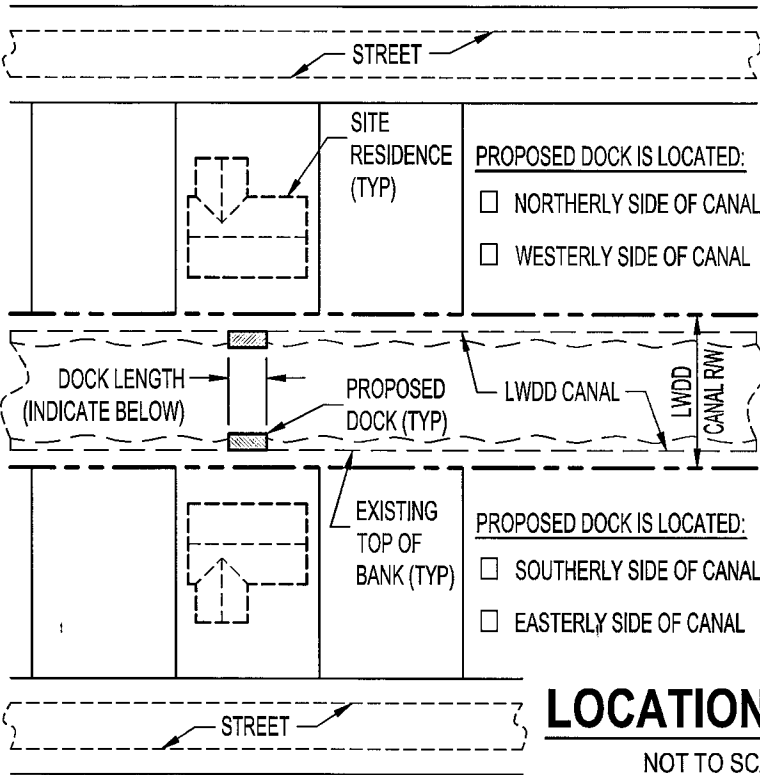
Item No. _____	Canal: _____	Date: _____
Deck Width: _____	Deck Length: _____	Canal Width: _____
No. of Piles: _____	Pile Type: _____	Pile Condition: _____
Decking Type: _____	Decking Condition: _____	Decking Stability: _____
Low Member Clearance: _____		
Steps/Ramp Type: _____	Steps/Ramp Condition: _____	
Steps/Ramp Stability: _____		
Seawall Condition: _____	Rip/Rap Material: _____	
Installation Approved: _____	Installation Not Approved: _____	



# LAKE WORTH DRAINAGE DISTRICT DOCK PERMIT LOCATION MAP



IDENTIFY NORTH: PLACE CHECK IN APPROPRIATE ARROWHEAD



**REQUIRED INFORMATION:**

NAME: \_\_\_\_\_

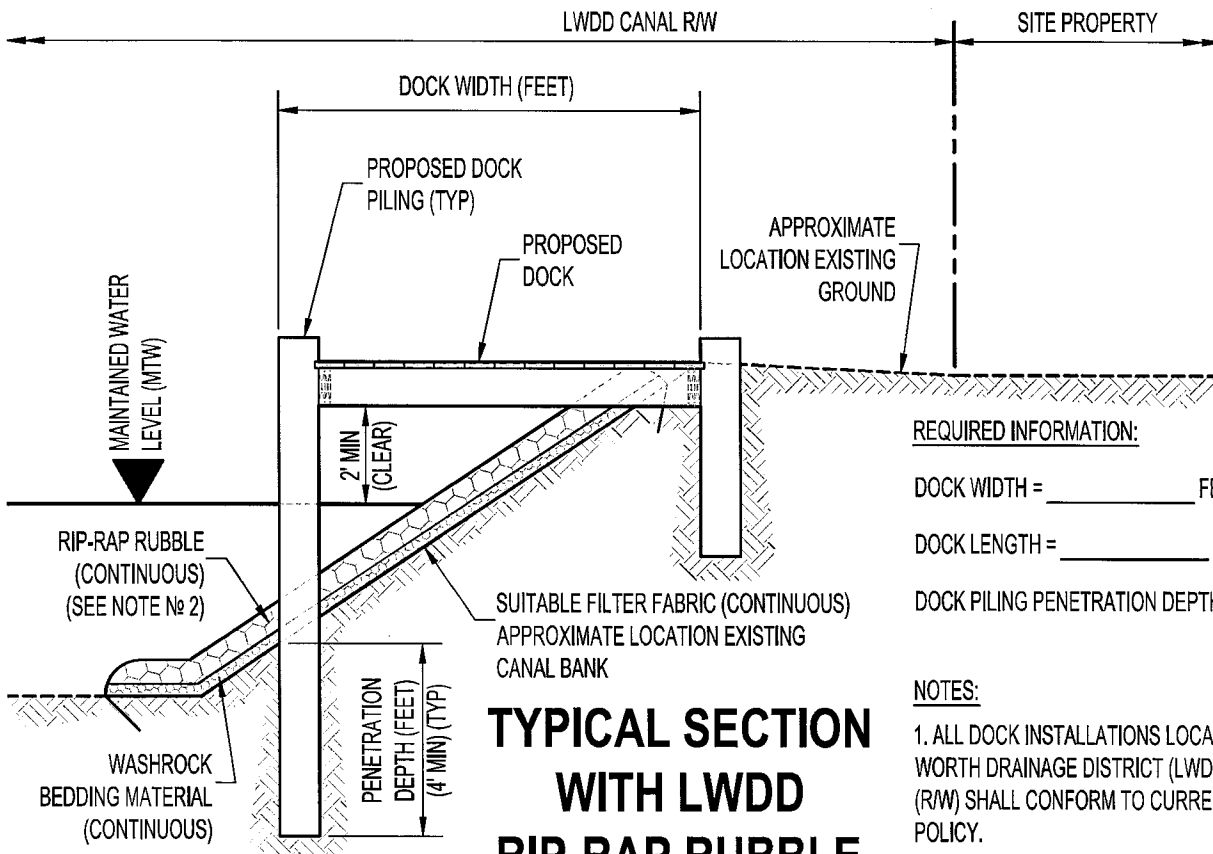
DATE: \_\_\_\_\_

SITE ADDRESS: \_\_\_\_\_

SUBDIVISION: \_\_\_\_\_

LOT NUMBER: \_\_\_\_\_ BLOCK NUMBER: \_\_\_\_\_

LWDD CANAL No: \_\_\_\_\_



**REQUIRED INFORMATION:**

DOCK WIDTH = \_\_\_\_\_ FEET

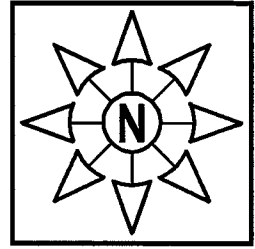
DOCK LENGTH = \_\_\_\_\_ FEET

DOCK PILING PENETRATION DEPTH = \_\_\_\_\_ FEET

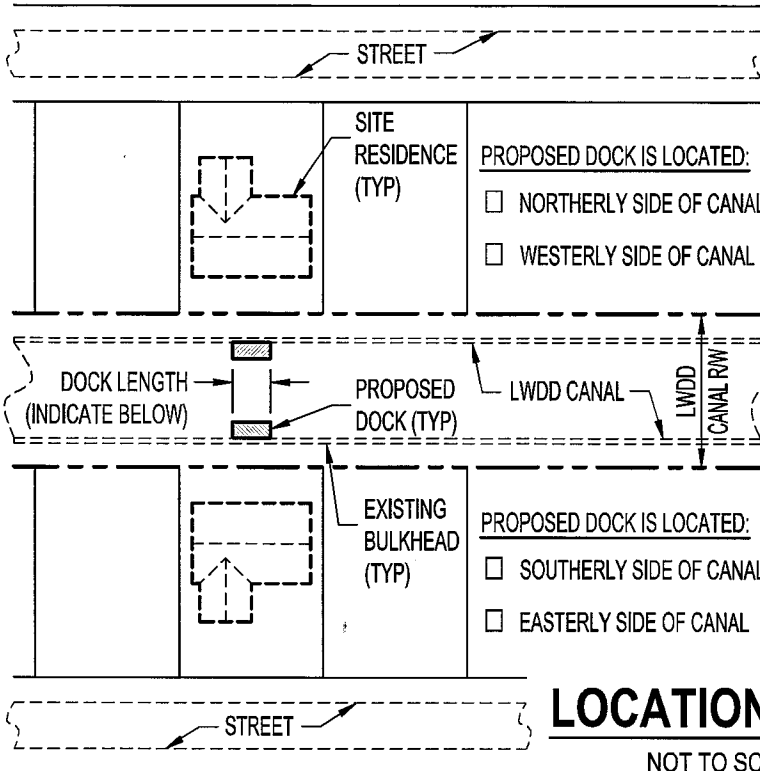
**NOTES:**

1. ALL DOCK INSTALLATIONS LOCATED WITHIN A LAKE WORTH DRAINAGE DISTRICT (LWDD) CANAL RIGHT-OF-WAY (R/W) SHALL CONFORM TO CURRENT LWDD OPERATING POLICY.
2. INSTALLATION OF RIP-RAP RUBBLE SHALL CONFORM TO CURRENT LWDD OPERATING POLICY.

# LAKE WORTH DRAINAGE DISTRICT DOCK PERMIT LOCATION MAP



IDENTIFY NORTH: PLACE CHECK IN APPROPRIATE ARROWHEAD



**REQUIRED INFORMATION:**

NAME: \_\_\_\_\_

DATE: \_\_\_\_\_

SITE ADDRESS: \_\_\_\_\_

\_\_\_\_\_

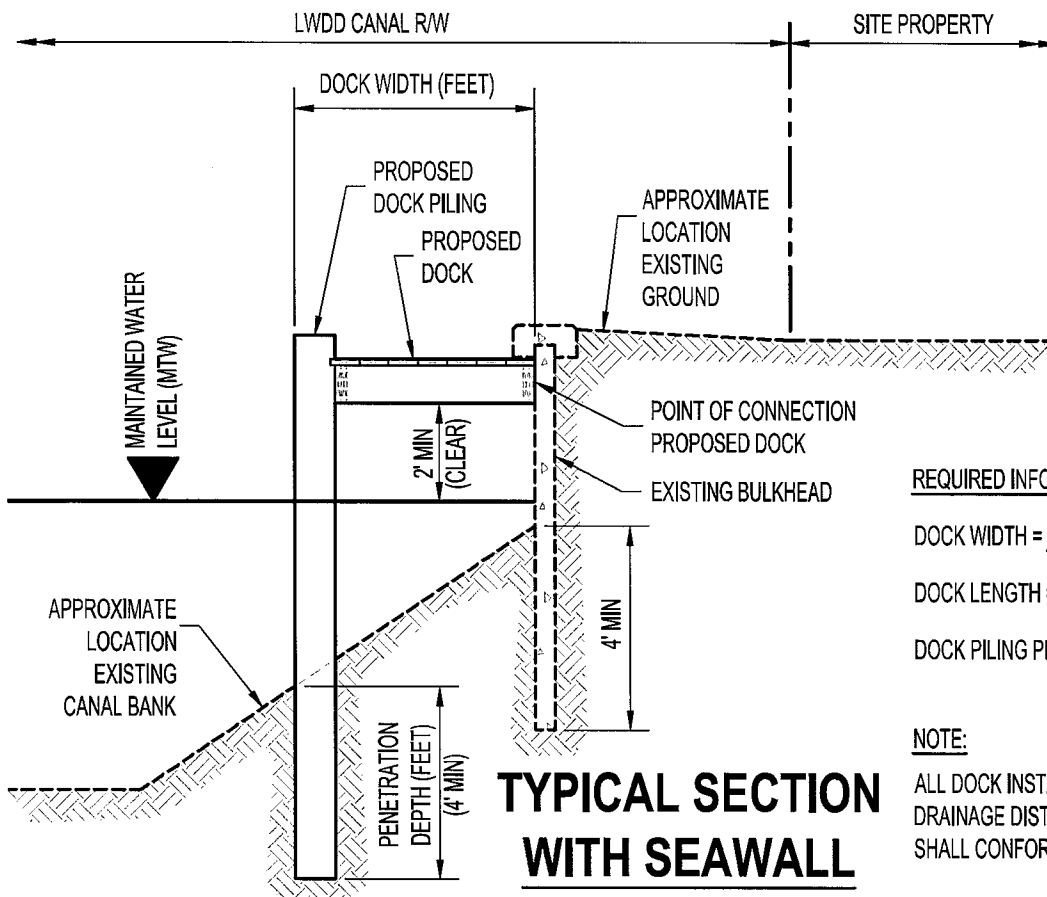
SUBDIVISION: \_\_\_\_\_

LOT NUMBER: \_\_\_\_\_ BLOCK NUMBER: \_\_\_\_\_

LWDD CANAL No: \_\_\_\_\_

## LOCATION PLAN

NOT TO SCALE



## TYPICAL SECTION WITH SEAWALL

NOT TO SCALE

**REQUIRED INFORMATION:**

DOCK WIDTH = \_\_\_\_\_ FEET

DOCK LENGTH = \_\_\_\_\_ FEET

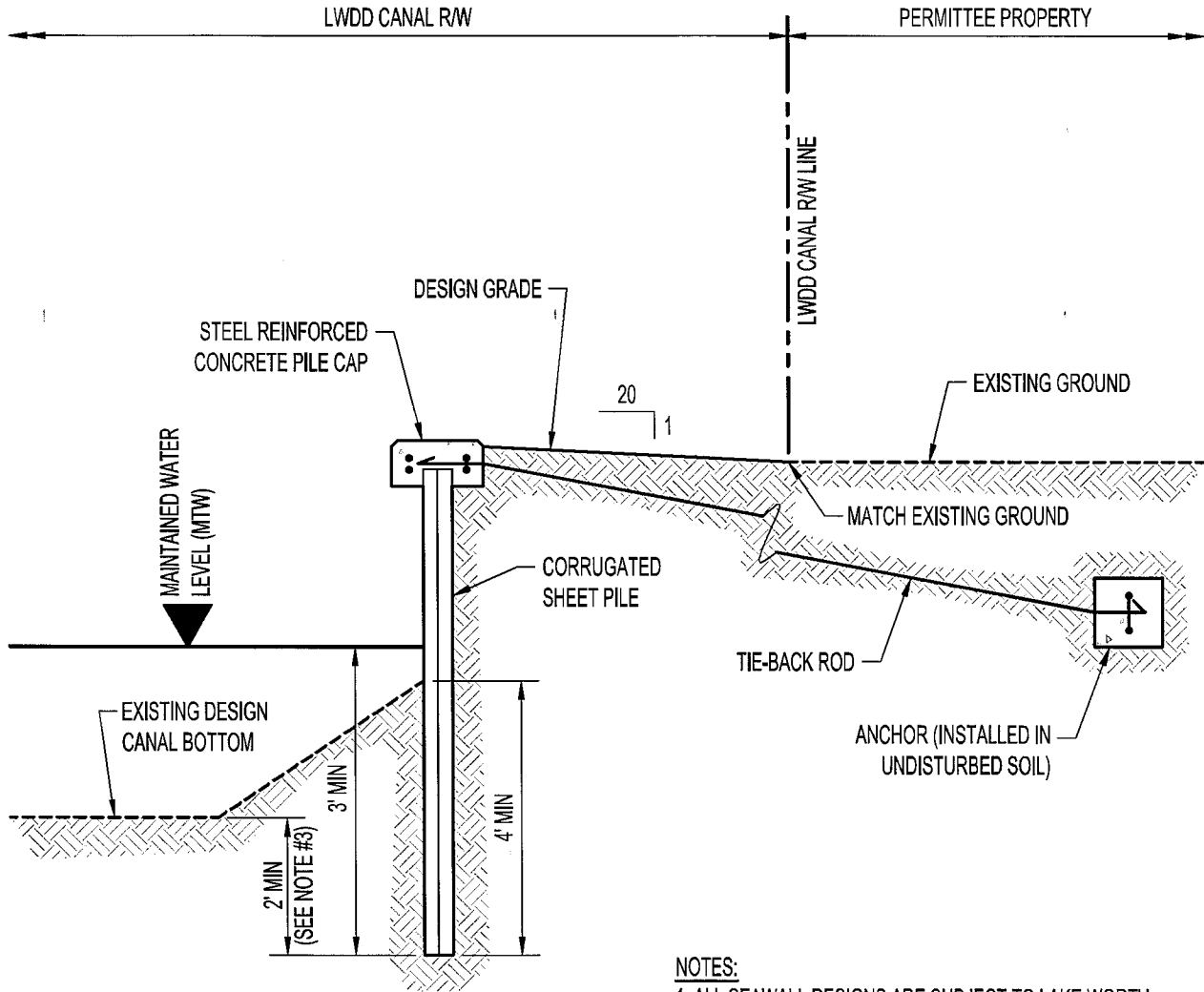
DOCK PILING PENETRATION DEPTH = \_\_\_\_\_ FEET

**NOTE:**

ALL DOCK INSTALLATIONS LOCATED WITHIN A LAKE WORTH DRAINAGE DISTRICT (LWDD) CANAL RIGHT-OF-WAY (RW) SHALL CONFORM TO CURRENT LWDD OPERATING POLICY.

# TYPICAL CORRUGATED SEAWALL DETAIL

NOT TO SCALE



## NOTES:

1. ALL SEAWALL DESIGNS ARE SUBJECT TO LAKE WORTH DRAINAGE DISTRICT (LWDD) APPROVAL
2. LWDD MAY REQUIRE DESIGN DRAWINGS SIGNED & SEALED BY A PROFESSIONAL ENGINEER REGISTERED WITH THE STATE OF FLORIDA
3. MINIMUM SHEET PILE PENETRATION SHALL BE 2 FEET BELOW THE DESIGN CANAL BOTTOM (UNLESS OTHERWISE APPROVED BY LWDD).